



PLANNING COMMISSION STAFF REPORT

TO: Honorable Chair & Planning Commission **DATE:** December 14, 2016
FROM: Bruce Buckingham, Community Development Director
PREPARED BY: Cassandra Mesa, Building/Planning Technician
SUBJECT: Development Application 16-24 – Request for a Development Permit and Tentative Parcel Map for a two unit, two-story Planned Unit Development located at 441 and 451 South 5th Street (060-272-013)

RECOMMENDATION

Staff recommends that the Planning Commission adopt the resolution approving Development Application 16-24 for a Development Permit and Tentative Parcel Map.

BACKGROUND

Existing Site Conditions

The subject site is an 8,107 square foot lot. There is an existing 868 square foot, one-story single family residence with an attached single car garage that was constructed in 1959.

The site has overhead service lines to the existing residence from a pole near the northwest corner of the property with distribution lines along the street frontage. The site frontage currently has an asphalt berm.

Data Summary:

Property Owner: 595 S. 7th LLC

General Plan Designation: Medium Density Residential

Zoning: Medium Density Residential (R2)

Surrounding Zones & Existing Uses:

North: Medium Density Residential (R2); two-story Planned Unit Developments

South: Medium Density Residential (R2); one and two-story single family residence

East: Medium Density Residential (R2); one & two-story single family residences

West: Coastal Medium Density Residential (CR2); one-story single family residences

Project Description

The applicant is proposing to demolish the existing residence and subdivide the parcel into two lots, 3,635 and 4,472 square feet in size, and, on each lot, construct a two-story residence with a roof deck (reference Exhibit A of Attachment 1). The northern unit includes 1,849 square feet of living space and a 441 square foot garage. The southern unit includes 1,862 square feet of living space and a 555 square foot garage with a workshop area. Both residences feature four bedrooms, three and one-half bathrooms, kitchen, living room, dining room, laundry room, deck, roof deck, and an attached two car garage. The earth-tone colored units would have a stucco and stone exterior and concrete tile roofs (reference Exhibit A of Attachment 1).

General Plan

The General Plan Land Use Element has three policies (LU-3.1, LU-20.9, and LU-20.8) that apply to this project. These policies are reiterated in Development Code Section 2.20.050.B.

LU-3.1 Compatible infill development. *Housing built within an existing neighborhood should be compatible in scale and in character with that neighborhood. Where neighborhoods are primarily single story, two story housing may be permitted but should be designed to respect the privacy of surrounding residences. All multifamily development and large group-living facilities should be compatible with nearby, lower density development.*

- a. *Architectural Character.* *New buildings should respect existing buildings where they contribute to neighborhood architectural character, in terms of size, spacing, and variety.*
- b. *Privacy and Solar Access.* *New buildings should be designed to respect the privacy and solar access of neighboring buildings and outdoor use areas, particularly where multistory buildings or additions may overlook backyards of adjacent dwellings.*
- c. *Compatible Color and Materials.* *New buildings should employ a palette of building materials and colors that complements the existing development where they contribute to neighborhood architectural character.*

Architectural Character & Compatibility

The neighborhood is composed of both single family residences and Planned Unit Developments with a majority of the residences two stories in height. The neighborhood has a variety of architectural styles and colors. The proposed architectural style, roof lines, materials, and colors are compatible with the residences in the vicinity. Therefore, staff believes that the proposed architectural character, materials and color are compatible with the neighborhood.

Privacy

441 South 5th Street is located approximately 23 feet from the dwelling to the north and 82 feet from the nearest dwelling to the east. 451 South 5th Street is located approximately 20 feet from the dwelling to the south and 80 feet from the nearest dwelling to the east. The roof decks on both units are set back approximately four feet from the building's edges to minimize views into the adjacent properties. Therefore, staff believes that the proposed residences have been designed to meet the intent of the policy regarding privacy of the neighboring residences.

LU-20.9 Building height of residential infill development. *The height of residential infill projects should be consistent with that of surrounding residential structures, and incorporate features to protect existing views and privacy where reasonable. Where greater height is desired, an infill structure should set back the upper floors from the edge of the first story to reduce impacts on adjacent properties.*

The maximum height in the R2 zone is 25 feet. The majority of the residences in the vicinity are two-stories in height. The proposed residences are no greater than 24 feet 8 inches in height from average natural grade. The property is zoned R2 and is not subject to the Development Code finding required for R1 projects that views are not substantially obstructed from adjacent properties.

LU-20.8 Qualities desired in residential development. *Residential projects should provide:*

- a. *Privacy, for occupants and neighbors of the project;*
- b. *Adequate usable outdoor area, sheltered from noise and prevailing winds, and oriented to receive light and sunshine;*
- c. *Use of natural ventilation, sunlight, and shade to make indoor and outdoor spaces comfortable with minimum mechanical support;*
- d. *Pleasant views from and toward the project;*
- e. *Security and safety;*

- f. *Separate paths for vehicles and for people, and bike paths along collector streets;*
- g. *Adequate parking and storage space;*
- h. *Noise and visual separation from adjacent roads and commercial uses.*
- i. *Design elements that facilitate neighborhood interaction, such as front porches, front yards along streets, entryways facing public walkways, and building design and orientation to minimize the prominence of the garage door.*

Both units have a roof deck and a yard area for their usable private outdoor area. The front doors of the proposed units face South 5th Street and the garage doors face the common driveway. Therefore, staff believes that the proposed project is consistent with policy LU-20.8.

Development Code

The Development Code describes the Medium Density Residential Zone (R2) as an area of the City intended primarily for small lot detached and attached single-family dwellings and multi-family residential dwellings. The proposed Planned Unit Development is consistent with the purpose and intent of the R2 Zone and is appropriately designed to mitigate potential impacts to the surrounding residential properties.

This project requires a Development Permit to ensure compliance with Development Code Section 4.30 Residential Common Area Developments. The proposed project complies with the development standards for the R2 Zone and Residential Common Area Developments as shown and discussed below.

Medium Density Residential Zone Development Standard	Requirement	Proposed	
Density	Maximum 9 units per gross acre (two units allowed)	two units	
		441 South 5th St.	451 South 5th St.
Front Setback	15 feet minimum	25 feet	23 feet
Side Setbacks	5 feet minimum	5 feet	5 feet
Rear Setback	10 feet minimum	22 feet	22 feet
Building Height (from average natural grade)	25 feet maximum	24 feet, 8 inches	23 feet, 11 inches
Minimum Lot Size	3,500 square feet	3,635 square feet	4,472 square feet
Lot Coverage	50 percent maximum	35 percent	31 percent
Landscaping Coverage	35 percent minimum	47 percent	35 percent
Private Yard Area	300 square feet plus 30 square feet for every 100 square feet of dwelling exceeding 1000 square feet	1,242 square feet (570 square feet required)	1,622 square feet (570 square feet required)
Second Floor Area to First Floor Area Ratio	Second floor area can be a maximum of 80% of the first floor	80%	74%
Laundry Facilities	Laundry area to accommodate a washer and dryer	Laundry Room on first floor	
Storage Area	Minimum 200 cubic feet, exterior or above hood line in garage	Above hood line or in attic space	In back of garage

Trash Receptacles	Individual trash cans stored in garage or screened from view	In garage or behind gates
Distance Between Detached Units	10 feet minimum	10 feet
Parking	2 car garage and 1 parking space per unit	2 car garage and 1 parking space per unit

Development Code Section 4.30.050 also includes the following design standards for Planned Unit Developments:

1. The design of the units shall promote architectural as well as visual relief, thereby reducing the overall structural bulk, especially on the second floor.
2. Consistent with consideration of bulk, scale, and design, the project shall minimize any cantilevering of the second floor over the first floor.
3. The height and scale of each dwelling shall be compatible with the site and existing (or proposed) adjacent buildings.
4. Architectural style is not restricted. Evaluation of the appearance of a project shall be based on the quality of its design and relationship to its surroundings.
5. Materials shall be of durable quality.
6. Monotony of design in single or multiple building projects shall be avoided. Variation in detail, form, and siting shall be used to provide visual interest. In multiple building projects, variable siting or individual buildings shall be used to prevent a monotonous appearance.

The project complies with the above design standards.

Public Works Department

Development Code Section 5.20 requires new construction to install street improvements along the frontage of properties up to the centerline of the right of way. The project has been conditioned to install frontage improvements.

Development Code Section 5.40 requires new construction underground all existing overhead utilities or pay an in-lieu fee adopted by the City Council. In addition, the Code requires all overhead service lines be placed underground.

Development Code Section 5.50 requires new construction where the primary structure is being removed to retain all drainage on-site. The proposed project would create approximately 2,967 square feet of impervious surfaces. Therefore, underground retention systems are proposed within the rear yard setback to retain all runoff on-site consistent with City Standards.

Fire Department

Installation of fire sprinklers is required for new residential units.

Environmental Review

The project qualifies for the following two California Environmental Quality Act (CEQA) Categorical Exemptions:

- Class 3 (Section 15301): This section exempts new construction of small projects involving four or less residential dwelling units.
- Class 15 (Section 15315): This section exempts land divisions which create four or fewer parcels when the division is in conformance with the General Plan and zoning, no variances or exceptions are required, all services and access to the proposed parcels to local standards are available, the parcel was not involved in a division of a larger parcel

within the previous 2 years, and the parcel does not have an average slope greater than 20 percent.

The project proposes the creation of two lots from the current parcel and a single family residence be constructed on each new lot. Therefore, the project is exempt from CEQA review.

ALTERNATIVES

The Planning Commission has the following alternatives to consider:

1. Adopt the resolution approving Development Application 16-24 for a Development Permit and Tentative Parcel Map; or
2. Direct staff to prepare a resolution denying the project with findings; or
3. Provide alternative direction to staff.

PUBLIC NOTIFICATION

The agenda was posted in accordance with the Brown Act. A legal ad was published in The Tribune on December 2, 2016. A Public Hearing notice was mailed to property owners within 300 feet of the subject property and was posted on the subject property.

ATTACHMENTS

1. Draft Resolution
Exhibit A: Plans

PLANNING COMMISSION RESOLUTION NO. 16-

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF GROVER BEACH,
APPROVING DEVELOPMENT APPLICATION 16-24 FOR A DEVELOPMENT PERMIT AND
TENTATIVE PARCEL MAP
(441 AND 451 SOUTH 5TH STREET)**

WHEREAS, the Planning Commission for the City of Grover Beach has received for its review and consideration a Staff Report and presentation in connection with Development Application 16-24, requesting approval for a Development Permit and two lot Tentative Parcel Map to construct a two unit Planned Unit Development located at 441 and 451 South 5th Street in the Medium Density Residential (R2) Zone (APN 060-272-013); and

WHEREAS, the notice of Public Hearing was sent to adjoining property owners and advertised in the manner required by law; and

WHEREAS, the project is categorically exempt from the California Environmental Quality Act (CEQA), Class 3: New construction of Small Structures and Class 15: Minor land divisions; and

WHEREAS, the Planning Commission of the City of Grover Beach has reviewed and considered Development Application 16-24 at a Public Hearing December 14, 2016; and

WHEREAS, the Planning Commission for the City of Grover Beach makes the following findings in accordance with Grover Beach Municipal Code Article IX, Section 6.20.060 Development Permit, Subsection F, subject to the Conditions of Approval contained herein:

1. *The proposed development is consistent with the General Plan, the Development Code, and other City goals, policies, and standards, as applicable.* – The proposed project is consistent with Land Use Element policies regarding infill development because the architectural character, materials, color, height and scale of the proposed project is compatible with the existing residences in the neighborhood. The project meets all applicable development standards of the Development Code.
2. *The subject site is physically suitable in terms of design, location, operating characteristics, shape, size, and topography.* – The site would be developed with two detached, two-story residences and related improvements. The project has been designed to meet all development standards of the Medium Density Residential Zone and for Residential Common Area Developments. The location and operating characteristics of the proposed residential project are consistent and compatible with the surrounding residential uses.
3. *The site's suitability ensures that the type, density, and intensity of use being proposed will not constitute a hazard to the public interest, health, safety, or welfare.* – The site is currently served by City water and sewer, and all other public utilities. The use, density and intensity of the residential use are consistent with the Medium Density Residential Zone. The project has been conditioned to meet all applicable codes to ensure the project will not constitute a hazard to the public interest, health, safety, or welfare.

WHEREAS, the Planning Commission for the City of Grover Beach recommends the City Council make the following findings in accordance with Development Code Chapter 8, Subdivision Regulations:

1. Public Hearing notification has been given in the time and in the manner required by State Law and City Code.
2. The proposed Tentative Parcel Map for the two lot subdivision is in conformity with both the intent and provisions of the General Plan and Development Code.
3. The proposed public and private improvements as designed and conditioned will protect and provide for the public health, safety and general welfare.
4. As designed and with the conditions of approval, drainage from the proposed subdivision would not result in the violation of existing requirements prescribed by the City of Grover Beach Storm Water Management Plan.
5. As referenced in the staff report to the Planning Commission, the site is physically suitable for the proposed type and intensity of development. Adequate infrastructure exists to serve the project or will be constructed as part of the project.
6. The subdivision complies with the Subdivision Map Act (Government Code Sections 66410 through 66499.58). Specifically, the tentative map complies with Section 66474 of the Subdivision Map Act because (1) the subdivision design is consistent with the applicable objectives, goals, and policies of the General Plan, (2) the site is physically suitable for the type of development, (3) the site is physically suitable for the proposed density of the development, (4) the subdivision will not cause substantial environmental damage or injure fish or wildlife or their habitat, (5) the subdivision is not likely to cause serious public health problems, and (6) the design of the subdivision will not conflict with public easements.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission for the City of Grover Beach **DOES HEREBY APPROVE** the Development Permit and Tentative Parcel Map associated with Development Application 16-24, subject to the following conditions:

CONDITIONS OF APPROVAL:

GENERAL

- G-1. This Development Permit will not take effect until the Applicant and Property Owner sign the Planning Commission Resolution agreeing to the terms and Conditions of Approval. Failure to sign within thirty (30) calendar days of Planning Commission approval shall constitute non-compliance with said conditions resulting in an automatic withdrawal of the approval.
- G-2. Failure to appeal the Planning Commission action or a specific condition imposed as provided in Grover Beach Municipal Code Article IX, Section 6.30.020 within 10 working days of Planning Commission action shall be deemed as agreement to all conditions of approval.

- G-3. The Applicant agrees, as a condition of approval of this resolution, to indemnify, defend and hold harmless, at Applicant's expense, City and City's agents, officers and employees from and against any claim, action or proceeding commenced within the time period provided in Government Code Section 66499.37 to attack, review, set aside, void or annul the approval of this resolution or to determine the reasonableness, legality or validity of any condition attached hereto. City shall promptly notify Applicant of any such claim, action or proceeding to which City receives notice, and City will cooperate fully with Applicant in the defense thereof. Applicant shall reimburse the City for any court costs and attorney's fees that the City may be required to pay as a result of any such claim, action or proceeding. City may, in its sole discretion, participate in the defense of any such claim, action or proceeding, but such participation shall not relieve Applicant of the obligations of this condition. Applicant's acceptance of this resolution or commencement of construction or operations under this resolution shall be deemed to be acceptance of all conditions contained in this resolution.
- G-4. All notes and specifications as shown on the plans shall be considered Conditions of Approval. If there is a conflict between the approve plans and the Conditions of Approval, the Conditions of Approval shall prevail.
- G-5. The approval granted by this Resolution shall be valid for twenty-four (24) months of the Planning Commission final approval date, and shall expire unless a valid building permit is issued and construction commenced. A request for a time extension shall be submitted to the Community Development Department as provided in Grover Beach Municipal Code Article IX, Section 6.30.060.
- G-6. The project shall comply with all Federal, State, Local and City codes, regulations, and standards.
- G-7. Prior to commencement of construction, construction plans shall be approved and applicable permits obtained. Construction plans shall comply with applicable California Building Codes in effect at the time of submittal. The hours of construction shall be from 7:00 a.m. to 7:00 p.m. Monday through Friday, and 8:00 a.m. to 5:00 p.m. Saturday, Sunday, and holidays, in accordance with Municipal Code Section 3120.1. All construction traffic shall access the site utilizing the truck route(s) closest to the site as defined in the City Circulation Element and as approved by the City's Police Department. Violations are subject to citation and fines.
- G-8. All Conditions of Approval shall be provided on a full size drawing sheet as part of the drawing sets. A statement shall also be placed on the above sheet as follows: "The undersigned have read and understand the above conditions, and agree to abide by any and all conditions which it is their usual and customary responsibility to perform, and which are within their authority to perform.

Signed:

Property Owner _____ Date _____

Contractor _____ Date _____ License No. _____

Architect	Date	License No.
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Engineer	Date	License No.”
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COMMUNITY DEVELOPMENT DEPARTMENT

- CDD-1. This approval authorizes a two-lot subdivision and construction of a two unit, detached Planned Unit Development in substantial conformance with the project plans attached as Exhibit A, as amended herein.
- CDD-2. Each unit shall have a minimum of 200 cubic feet of exterior storage, which shall be weather-proofed and designed to provide reasonable security. Storage within a garage shall be located above the hood line.
- CDD-3. The refuse containers shall not be located within a landscaped area. The refuse containers shall be located on and utilize a suitable surface when being rolled out on pick-up day. Additionally, in compliance with Development Code Section 4.30.040, the refuse containers shall be located within the garage, as long as the two parking spaces are maintained, or in a screened side or rear yard.
- CDD-4. Prior to issuance of a building permit, the applicant shall submit a final landscape plan in compliance with GBMC Article IX Section 3.30 Landscaping Standards and the State’s Model Landscape Ordinance.

FIRE DEPARTMENT

- FD-1. Installation of a NFPA 13D Fire Protection System is required for each residence and shall be installed in accordance with current adopted building and fire codes. Plans shall be submitted to the City of Grover Beach and Five Cities Fire Authority for review and approval prior to installation.
- FD-2. Riser shall have a water flow alarm with a dedicated electrical circuit and a lock on device installed.
- FD-3. Fire sprinkler riser shall be installed inside the garage in a fire rated protective enclosure.
- FD-4. Main control valve must only shut off domestic water service and not the fire water.
- FD-5. A dedicated minimum 1” water service line and 1” water meter shall be installed to each residence, calculated and approved by Fire Protection Engineer.
- FD-6. A warning sign, with a minimum of ¼ inch letters, shall be affixed adjacent to the main shutoff valve and shall state the following:

WARNING: The water system for this home supplies fire sprinklers that require certain flows and pressures to fight a fire. Devices that restrict the flow or decrease the pressure or automatically shut off the water to the fire sprinkler system, such as water

softeners, filtration systems, and automatic shutoff valves, shall not be added to the system without a review of the fire sprinklers system by a fire protection specialist. **DO NOT REMOVE THIS SIGN.**

- FD-7. Smoke detectors and Carbon Monoxide Detectors shall be installed in all sleeping areas and in corridors leading to the sleeping areas and be electrically interconnected with battery back-up.
- FD-8. Address number shall be Arabic numerals or Alphabet Letters. Numbers shall be a minimum of 4 inches high with a minimum stroke width of 0.5 inch.
- FD-9. Five Cities Fire Authority shall be contacted to do a rough fire sprinkler inspection prior to the installation of insulation/drywall and then a final fire sprinkler inspection upon completion.

PUBLIC WORKS DEPARTMENT/CITY ENGINEER

- PW/CE-1. Prior to the issuance of a building permit, the applicant shall submit Public Improvement Plans depicting all the proposed road and utility improvements required by applicable City standards. The plans to be approved by the City Engineer shall at a minimum include the following:
 - A. Street repaving to be 3" minimum A.C. pavement over 6" Class II aggregate base. Due to the low Pavement Condition Index rating, the width of repaving shall be to the centerline of South 5th Street, measured from the new lip of gutter. The water line trench repair shall be to the satisfaction of the City Engineer.
 - B. Construct concrete curb, gutter and sidewalk for the project frontage.
 - C. The new concrete driveway shall meet City standards, including ADA sidewalk accessibility, and minimum and maximum grades to the new garages.
 - D. New utility connections to meet City standards for material, size and grades.
 - E. The public improvements, including abandonments, shall be completed and accepted prior to map recordation. All public improvements shall be installed consistent with City standards, as required by the City Engineer.
- PW/CE-2. The property owner shall construct a 6" water line from Seabright Avenue to the northerly property line. The water line shall terminate at a blowoff and all construction shall be to the satisfaction of the Public Works Department.
- PW/CE-3. Prior to approval of the improvement plans, the improvement plans shall be drawn on twenty-four (24) inch by thirty-six (36) inch mylar and signed by a registered civil engineer and other registered/licensed professionals as required.
- PW/CE-4. Prior to approval of the improvement plans, the developer shall submit clearances from all applicable agencies and signatures from applicable public utilities.
- PW/CE-5. A separate 1" domestic water lateral and meter shall service each residence, subject to the approval of the Public Works Department.

- PW/CE-6. A separate 4" sanitary sewer lateral shall service each residence. Prior to re-use of an existing sewer lateral, the materials, location, and gradient are subject to the approval of the City Engineer (a video camera inspection is required).
- PW/CE-7. Prior to issuance of a building permit, an engineered grading and drainage plan shall be submitted for approval and the following is required:
- A. A soils and geotechnical report.
 - B. Show all existing and proposed easements, including setbacks.
 - C. Provide sufficient detail for the adjoining properties to the extent of representing adjacent grades and existing drainage patterns (on-site drainage conditions, grade change between adjoining lots, adjacent structures, etc.).
 - D. The new driveway shall meet City standards, including sidewalk accessibility, and minimum and maximum grades to new garages.
 - E. All storm water generated by the proposed project shall be collected and retained on the individual lots as required by Development Code Section 5.50.080.
- PW/CE-8. Prior to issuance of building permit, the applicant shall comply with Municipal Code Article IX Development Code, Chapter 5.60 Stormwater Construction and Post Construction Management. This will require submittal of an Erosion Control Plan utilizing best management practices and a Water Pollution Control Plan. The submittal and recordation of the following will be required:
- A. Post Construction Stormwater Management System Operations & Maintenance plan, checklist and maintenance agreement, due prior to occupancy.
- PW/CE-9. Prior to map recordation, all existing overhead utilities serving the project shall be undergrounded and all new services shall be undergrounded, as required by Municipal Code Article IX Section 5.40 and the Council adopted Interim Undergrounding Policy.
- PW/CE-10. A Parcel Map shall be prepared by an engineer or land surveyor licensed by the State of California. The parcel map shall include a shared private access easement. Prior to issuance of a Certificate of Occupancy, a shared driveway maintenance agreement shall be submitted for review by the City and ultimately recorded concurrently with the parcel map.
- PW/CE-11. Prior to recordation of the parcel map, either monuments shall be set or a cash bond be presented to the City guaranteeing their setting within one year.
- PW/CE-12. Prior to recordation of the parcel map, all plan checking and inspection fees shall be paid.
- PW/CE-13. Prior to recordation of the parcel map, the applicant shall provide to the Public Works Department one (1) copy of the parcel map and any concurrent recording, one (1) reduced version for use in preparing the staff report, one (1) hard-copy on reproducible mylar, and electronic copies in AutoCad and PDF formats.
- PW/CE-14. Prior to construction commencing, construction plans shall be approved and applicable permits issued. Grading will require a Grading Permit unless grading

activity is proposed as part of the development of either structure. Work in the public right-of-way will require an Encroachment Permit.

On motion by _____, seconded by _____, and on the following roll-call vote, to wit:

AYES: Commissioners –
NOES: Commissioners –
ABSENT: Commissioners –
ABSTAIN: Commissioners –

the foregoing RESOLUTION NO. 16-____ was **PASSED, APPROVED**, and **ADOPTED** at a Regular Meeting of the City of Grover Beach Planning Commission on this 14th day of December, 2016.

JOHN LAFERRIERE, CHAIR

Attest:

BRUCE BUCKINGHAM, COMMUNITY DEVELOPMENT DIRECTOR
SECRETARY TO THE PLANNING COMMISSION

ACCEPTANCE OF CONDITIONS

This permit is hereby accepted upon the express terms and conditions hereof, and shall have no force or effect unless and until agreed to, in writing, by the Applicant and Property Owner or Authorized Agent. The undersigned hereby acknowledges the approved terms and conditions and agrees to fully conform to and comply with said terms and conditions within the recommended time frames approved by the City Planning Commission.

Applicant

Date

Property Owner or Authorized Agent

Date

EXHIBIT A

Property Owner/Applicant:
 Name: [Redacted]
 Address: [Redacted]
 City: [Redacted]
 State: [Redacted]
 Zip: [Redacted]

Project Description:
 New residential building (2 units) on 441 and 451 South 5th Street.

441 S. Fifth Street:
 Lot Area: 1,200 sq ft
 Building Area: 1,200 sq ft
 Max Height: 12 ft
 Max Setback: 5 ft

451 S. 5th Street:
 Lot Area: 1,200 sq ft
 Building Area: 1,200 sq ft
 Max Height: 12 ft
 Max Setback: 5 ft

Maximum Height:
 441: 12 ft
 451: 12 ft

Setbacks:
 Front: 5 ft
 Side: 5 ft
 Rear: 5 ft

Sheet Index:
 1: Site Plan
 2: Foundation Plan
 3: Floor Plan
 4: Section
 5: Details

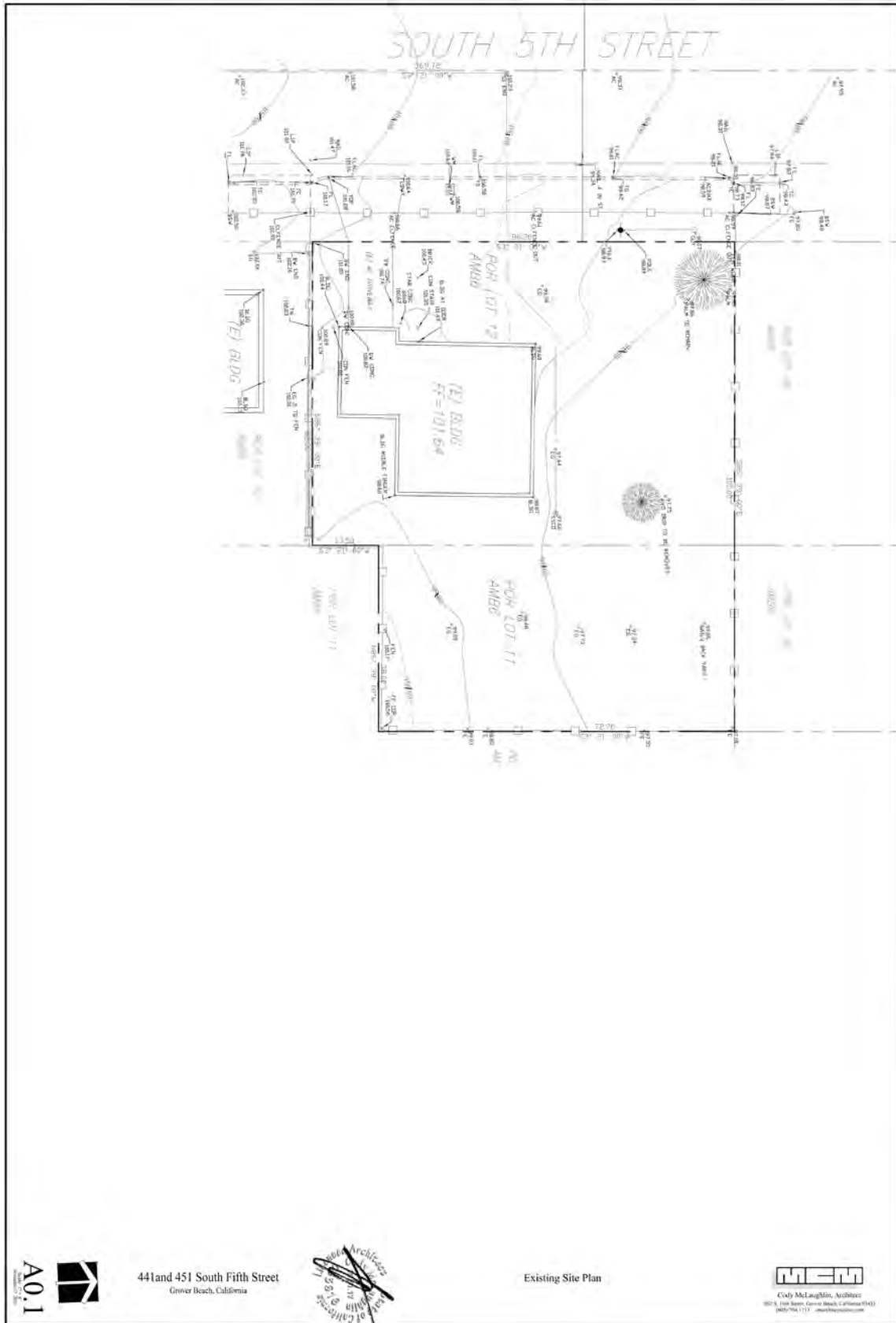
Landscaping:
 - 'chinese pistachio' pistacia chinensis, 24" box
 - 'rainbow wrenw' phormium
 - silver carpet dynomia

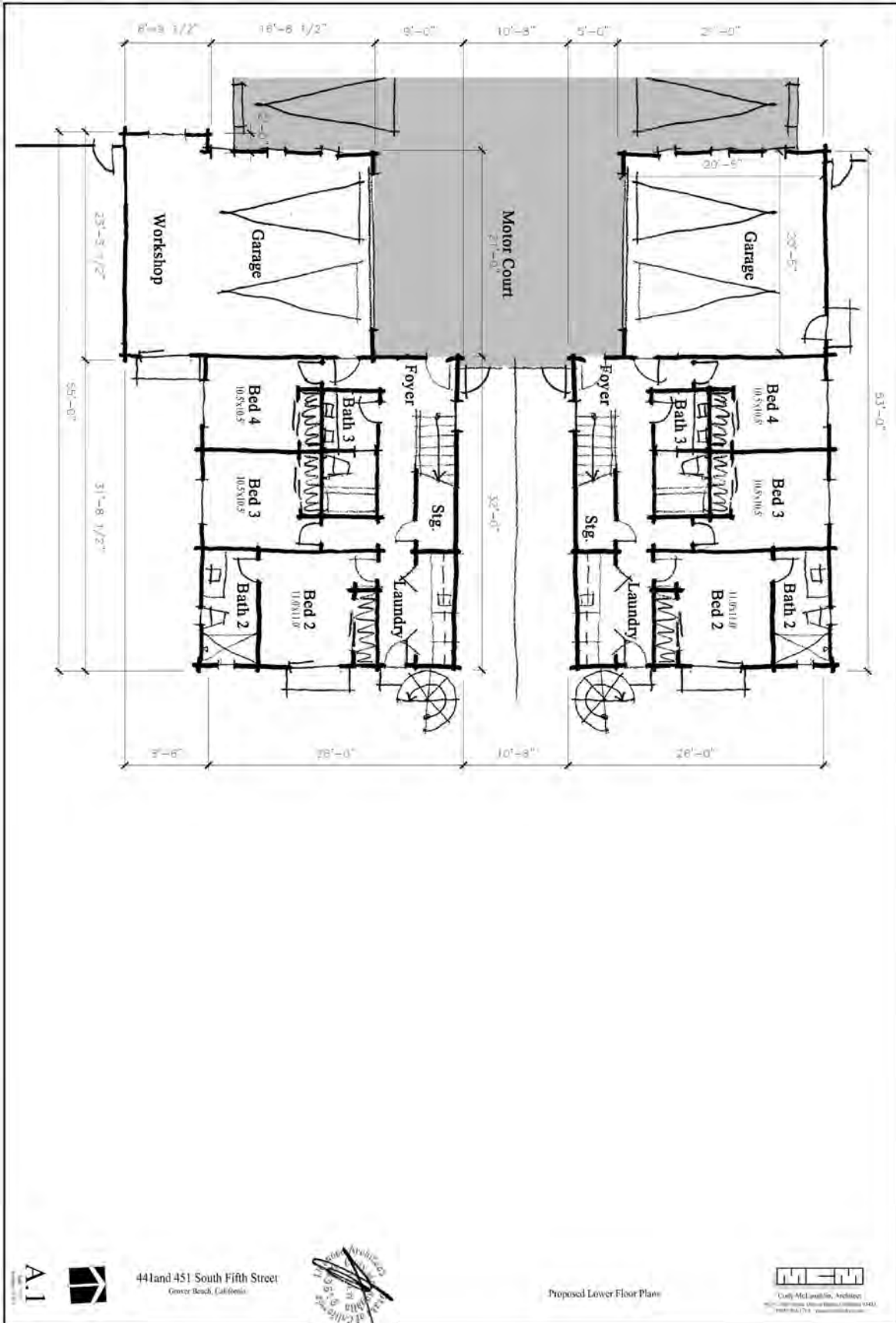
Utilities:
 Water, Sewer, Gas, Electric, Telephone, Cable, Fiber Optic, Storm Drain, Sanitary Drain, Vent, Exhaust, Mechanical, Fire, Security, etc.

Project Data and Proposed Site Plan

A.A.O.
 441 and 451 South Fifth Street
 Grover Beach, California

CSM
 Casey McLaughlin, Architect
 1000 S. Coast Highway, Suite 100, Grover Beach, CA 93426
 Phone: 805.461.1111

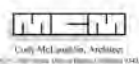




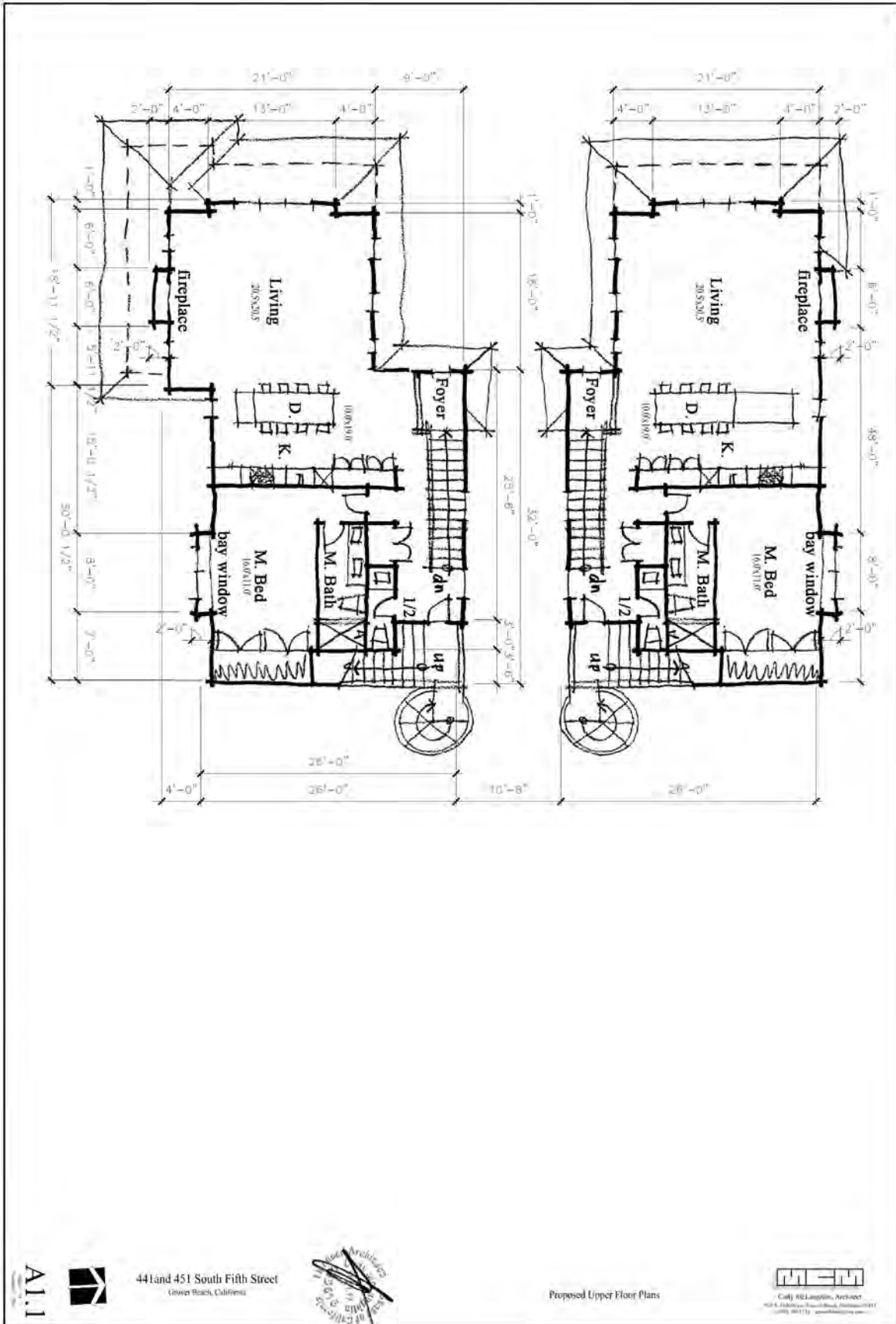
441 and 451 South Fifth Street
Conner Beach, California

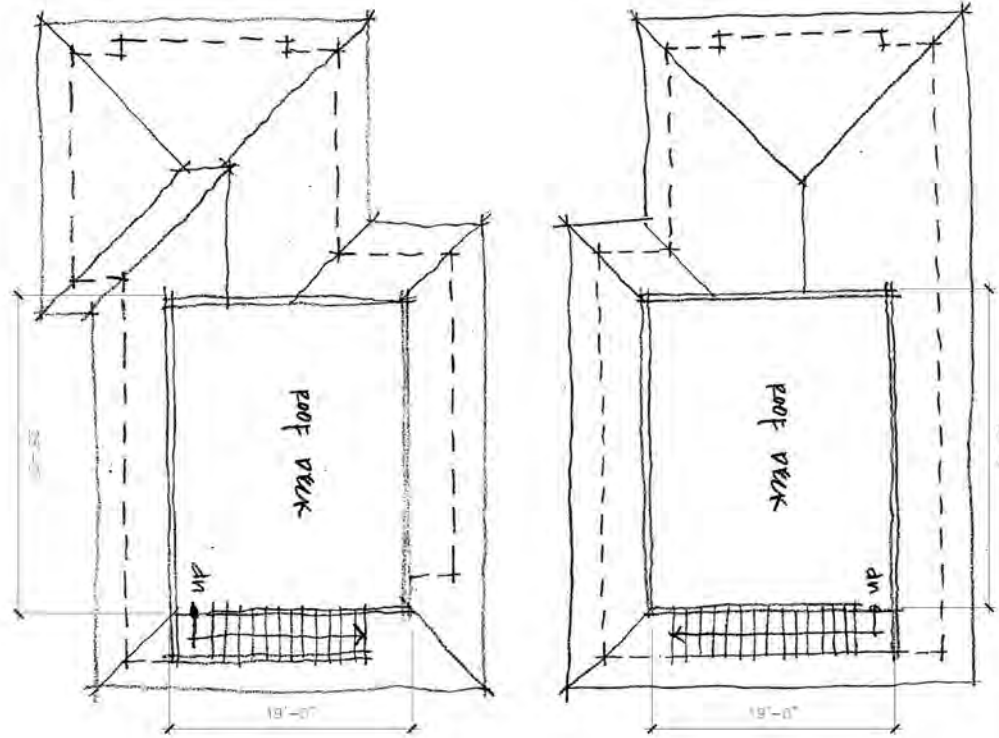


Proposed Lower Floor Plan



Clayton McLouthlin, Architect
11000 S. Harbor Blvd., Suite 100, San Diego, CA 92161
(619) 584-1719





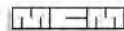
A1.2



441 and 451 South Fifth Street
Crown Beach, California



Proposed Roof Plans



Cody McLaughlin, Architect
100 S. 10th Street, Suite 100, Crown Beach, CA 94725
415.762.7711 - cody@mcLaughlin.com



- ELEVATION KEYNOTES**
- PK 1 - ROOF OF 2ND FLOOR
 - PK 2 - ROOF OF 1ST FLOOR
 - PK 3 - ROOF OF 1ST FLOOR
 - PK 4 - ROOF OF 1ST FLOOR
 - PK 5 - ROOF OF 1ST FLOOR
 - PK 6 - ROOF OF 1ST FLOOR
 - PK 7 - ROOF OF 1ST FLOOR
 - PK 8 - ROOF OF 1ST FLOOR
 - PK 9 - ROOF OF 1ST FLOOR
 - PK 10 - ROOF OF 1ST FLOOR

Elevations- 441 South Fifth Street

A.2
Scale: 1/8" = 1'-0"

441 and 451 South Fifth Street
Grover Beach, California



MEM
Cody McLaughlin, Architect
947 S. 14th Street, Grover Beach, California 93031
(805) 754-1713 cody@codymclaughlin.com



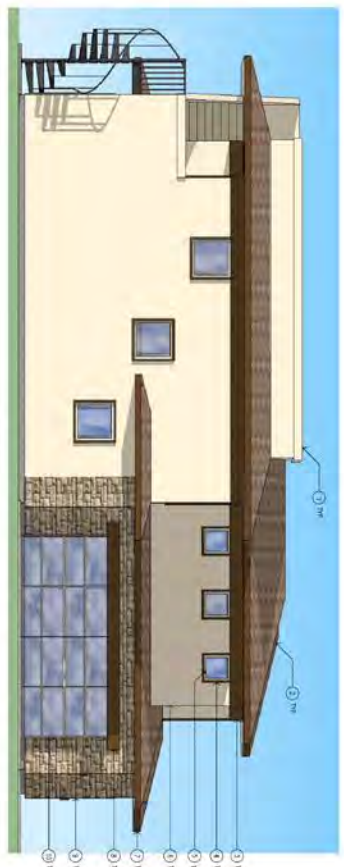
East



South



West (South Fifth Street)



North

- ELEVATION KEYNOTES**
- ① FINISH OF FLOOR AND CEILING
 - ② EXTERIOR WALL FINISH
 - ③ FINISH OF ROOF AND EAVE
 - ④ FINISH OF ROOF AND EAVE
 - ⑤ FINISH OF ROOF AND EAVE
 - ⑥ FINISH OF ROOF AND EAVE
 - ⑦ FINISH OF ROOF AND EAVE
 - ⑧ FINISH OF ROOF AND EAVE
 - ⑨ FINISH OF ROOF AND EAVE
 - ⑩ FINISH OF ROOF AND EAVE

Elevations- 451 South Fifth Street

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