

**RESOLUTION NO. 17-\_\_****A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GROVER BEACH  
APPROVING AN AMENDMENT TO DEVELOPMENT APPLICATION 10-03 FOR A  
USE PERMIT AND AN AMENDMENT TO THE COASTAL DEVELOPMENT PERMIT  
LOCATED AT 55 WEST GRAND AVENUE**

**WHEREAS**, the City Council for the City of Grover Beach has received for its review and consideration a Staff Report and presentation in connection with an amendment to Development Application 10-03, requesting approval for a Use Permit and amendment of the Coastal Development Permit to construct a roof deck on Building 1 and other minor modifications to Building 1 of the Grover Beach Lodge located at 55 West Grand Avenue; and

**WHEREAS**, on March 5, 2012 the City Council certified the Revised Final Environmental Impact Report prepared for the project in compliance with the California Environmental Quality Act (CEQA); and

**WHEREAS**, on April 7, 2014 the City Council adopted Resolution No. 14-19 approving Development Application 10-03 consisting of a Coastal Development Permit and Site and Architectural Plans; and

**WHEREAS**, an Addendum to the Revised Final Environmental Impact Report has been prepared for this amendment and determined that the roof deck and other minor modifications to Building 1 would not result in new significant impacts or a substantial increase in the severity of previously identified significant impacts under CEQA; and

**WHEREAS**, the Planning Commission of the City of Grover Beach has reviewed and considered the amendment to Development Application 10-03 at a public hearing on December 14, 2016 and unanimously recommended approval by the City Council; and

**WHEREAS**, the City Council for the City of Grover Beach makes the following findings in accordance with Grover Beach Municipal Code (GBMC) Article IX, Section 6.20.090.(F) for Use Permits, subject to the Conditions of Approval contained herein:

1. The proposed development is consistent with the General Plan, the Development Code, Local Coastal Program, and other City goals, policies, and standards, as applicable. The proposed project amendment will provide additional visitor serving amenities by providing a public viewing area that offers food and beverage services. This amenity is consistent with Land Use Element Goal LU-6 and the Local Coastal Program's because it provides additional visitor serving amenities for the approved hotel project. The project meets all Development Code standards as documented in the staff report and attached project plans, including the mechanical equipment and architectural features that exceed the 40-foot maximum height because these exceptions are allowed with a Use Permit. The mechanical and architectural features that exceed the 40 foot height limit can be supported because the visibility and prominence of the elevator and stair tower has been reduced by architecturally integrating the tower into the building design and locating it away from building edges as discussed in the staff report. In addition, the elevators, staircases, and railing are required by the Building Code for public safety. The amendment is consistent with the Coastal Visitor Serving Zone that is intended for commercial development that encourages evening uses such as lodging and restaurants. The roof deck will enhance the hotel project by providing another amenity for use by visitors and an additional location for food and beverage services.

2. The subject site is physically suitable in terms of design, location, operating characteristics, shape, size, and topography. The approved hotel, restaurant and conference project is located on approximately 13 acres that is suitable for the project as identified in the previous project approval. The amendment does not have a substantial change or effect on the subject site.
3. The site's suitability ensures that the type, density, and intensity of use being proposed will not constitute a hazard to the public interest, health, safety, or welfare. The amendment is consistent with the type, density and intensity of use allowed in the Coastal Visitor Serving Zone and will meet all Code requirements to ensure the public health and safety.

**WHEREAS**, the City Council for the City of Grover Beach makes the following findings in accordance with Grover Beach Municipal Code (GBMC) Article IX, Section 6.20.040.(H) for Coastal Development Permits, subject to the Conditions of Approval contained herein:

1. The proposed development, as modified by any conditions of approval, is in conformity with the City's certified Local Coastal Program and will not adversely affect coastal resources. The roof deck is part of an already approved hotel building that is consistent with the LCP and has been determined will not adversely impact coastal resources. The roof deck will further enhance the policies of the LCP by providing another visitor serving amenity.
2. If the project is located between the first public road and the sea, that the project is in conformity with the public access and recreation policies of Chapter 3 of the Coastal Act of 1976 (commencing with Sections 30200 of the Public Resources Code). The roof deck is consistent with Chapter 3 of the Coastal Act and enhances coastal access by providing an additional public viewing area of the coast to the approved project. As previously documented in the resolution approving the project, the approved project does not obstruct access to the dunes, beach, and shoreline because there are no changes to the existing access via West Grand Avenue. The new 10-foot wide multi-purpose path on the north side of West Grand Avenue will enhance pedestrian and bicycle traffic to the beach. The project will also enhance access to the dunes by adding additional walkways within the project area and eliminating parking areas adjacent to the dunes.
3. Feasible mitigation measures and/or alternatives have been incorporated to substantially lessen any significant adverse effects of the development on the environment. The roof deck and other minor modifications to Building 1 will not cause any new significant impacts or increase the severity of previously identified significant impacts on the environment as documented in the Addendum to the Revised Final EIR; therefore, no additional mitigation measures or project alternatives are required to be implemented.
4. The proposed use is consistent with the purposes of the zone in which the site is located. The Coastal Visitor Serving Zone is intended for commercial development that encourages evening uses such as lodging and restaurants. The roof deck will enhance the hotel project by providing another amenity for use by visitors and an additional location for food and beverage services.
5. The proposed development is in conformance with the City's General Plan. The proposed roof deck provides additional visitor serving amenities consistent with Land Use Element Goal LU-6.

- 6. The proposed location of the use and conditions under which it may be operated or maintained will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity. The roof deck will be open to the general public as an extension of the restaurant dining & beverage. The roof deck will meet all Code requirements to ensure the public health and safety.
- 7. Public services are adequate to serve the proposed development. The roof deck and other minor modifications to Building 1 will not require additional public services to serve the hotel, restaurant and conference center project.

**WHEREAS**, the City Council for the City of Grover Beach makes the following finding demonstrating that the project is in compliance with the California Environmental Quality Act.

- 1. Based on the Addendum to the Revised Final Environmental Impact Report prepared for the amendment to Development Application 10-03, and the Revised Final EIR prepared for the project and certified in March 2012, the Grover Beach City Council has determined in its independent judgement that the amendment is not a substantial change to the approved project, is a minor revision to the approved project based on its size, and would not result in new significant impacts or a substantial increase in the severity of significant impacts previously identified in the certified Revised Final EIR adopted in March 2012. Further, there have been no substantial changes to the project with respect to the circumstances under which the project was approved in April 2014, and no new information of substantial importance identified since the Revised Final EIR was certified.

**NOW, THEREFORE, BE IT RESOLVED** that the City Council for the City of Grover Beach **DOES HEREBY APPROVE** the amendment to Development Application 10-03 for a Use Permit and amendment to the Coastal Development Permit, subject to the conditions below.

**CONDITIONS OF APPROVAL:**

- 1. This approval authorizes an amendment to Development Application 10-03 to construct a 6,790 square foot (gross area) roof deck and other minor modifications to Building 1 in substantial conformance with the approved plans attached as Exhibit A. The roof deck shall serve as a multi-purpose outdoor area that will be utilized by the general public and private parties. The roof deck will be open to the general public as an extension of the restaurant dining and beverage generally from 10:00 a.m. to 9:00 p.m. daily.
- 2. This amendment to the approved project shall comply with the conditions of approval contained in City Council Resolution No. 14-19 and all applicable mitigation measures contained in City Council Resolution No. 12-14 certifying the Revised Final Environmental Impact Report.

Upon motion by \_\_\_\_\_, second by \_\_\_\_\_, and on the following roll call vote, to wit:

- AYES:
- NOES:
- ABSENT:
- ABSTAIN:

the foregoing RESOLUTION NO. 17-\_\_ was **PASSED, APPROVED, and ADOPTED** at a Regular Meeting of the City of Grover Beach City Council on this 9<sup>th</sup> day of January, 2017.

**\*\* D R A F T \*\***

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JOHN P. SHOALS, MAYOR

Attest:

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DONNA McMAHON, CITY CLERK

EXHIBIT A – PROJECT PLANS FOR THE AMENDMENT TO DEVELOPMENT APPLICATION 10-03



CDP Amendment Package

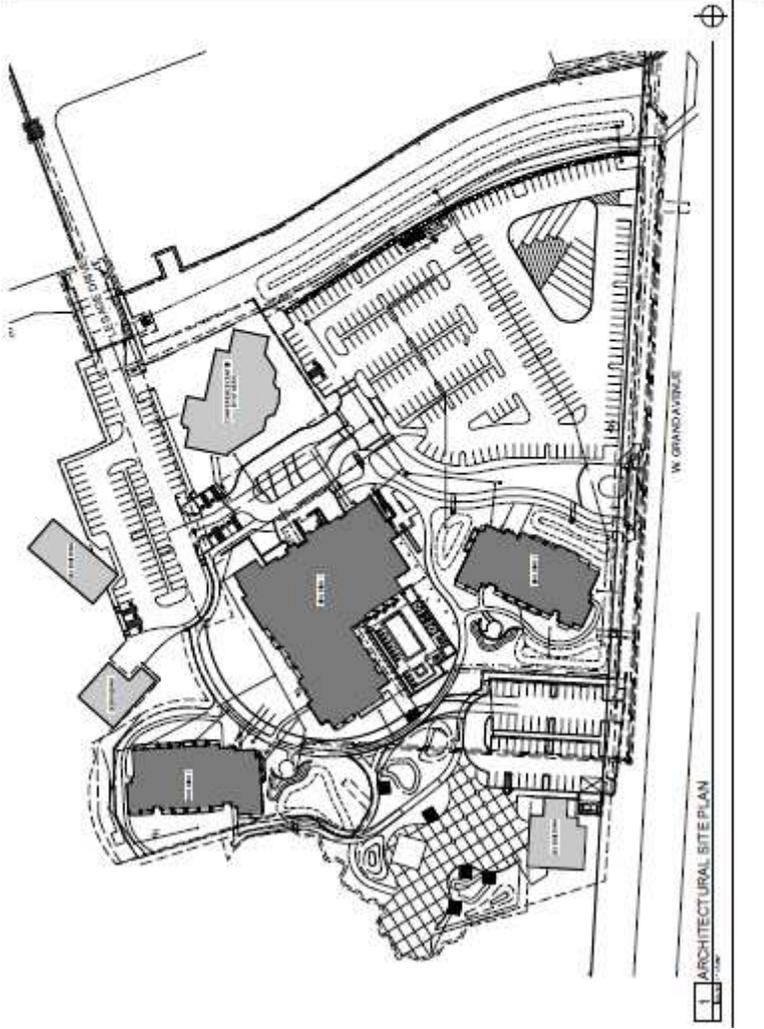
Sheet Index	Title/Sheet	Prepared by	Checked by	Reviewed by	Approved by
A1	Title Sheet				
A2	General site plan				
A3	Site plan showing building footprint				
A4	Site plan showing building footprint and parking				
A5	Site plan showing building footprint, parking, and landscaping				
A6	Site plan showing building footprint, parking, landscaping, and site access				
A7	Site plan showing building footprint, parking, landscaping, site access, and utility lines				
A8	Site plan showing building footprint, parking, landscaping, site access, utility lines, and street layout				
A9	Site plan showing building footprint, parking, landscaping, site access, utility lines, street layout, and signage				
A10	Site plan showing building footprint, parking, landscaping, site access, utility lines, street layout, signage, and lighting				
A11	Site plan showing building footprint, parking, landscaping, site access, utility lines, street layout, signage, lighting, and security				
A12	Site plan showing building footprint, parking, landscaping, site access, utility lines, street layout, signage, lighting, security, and fire safety				
A13	Site plan showing building footprint, parking, landscaping, site access, utility lines, street layout, signage, lighting, security, fire safety, and accessibility				
A14	Site plan showing building footprint, parking, landscaping, site access, utility lines, street layout, signage, lighting, security, fire safety, accessibility, and environmental				
A15	Site plan showing building footprint, parking, landscaping, site access, utility lines, street layout, signage, lighting, security, fire safety, accessibility, environmental, and historical				



GROVER BEACH RESORT • Title Sheet

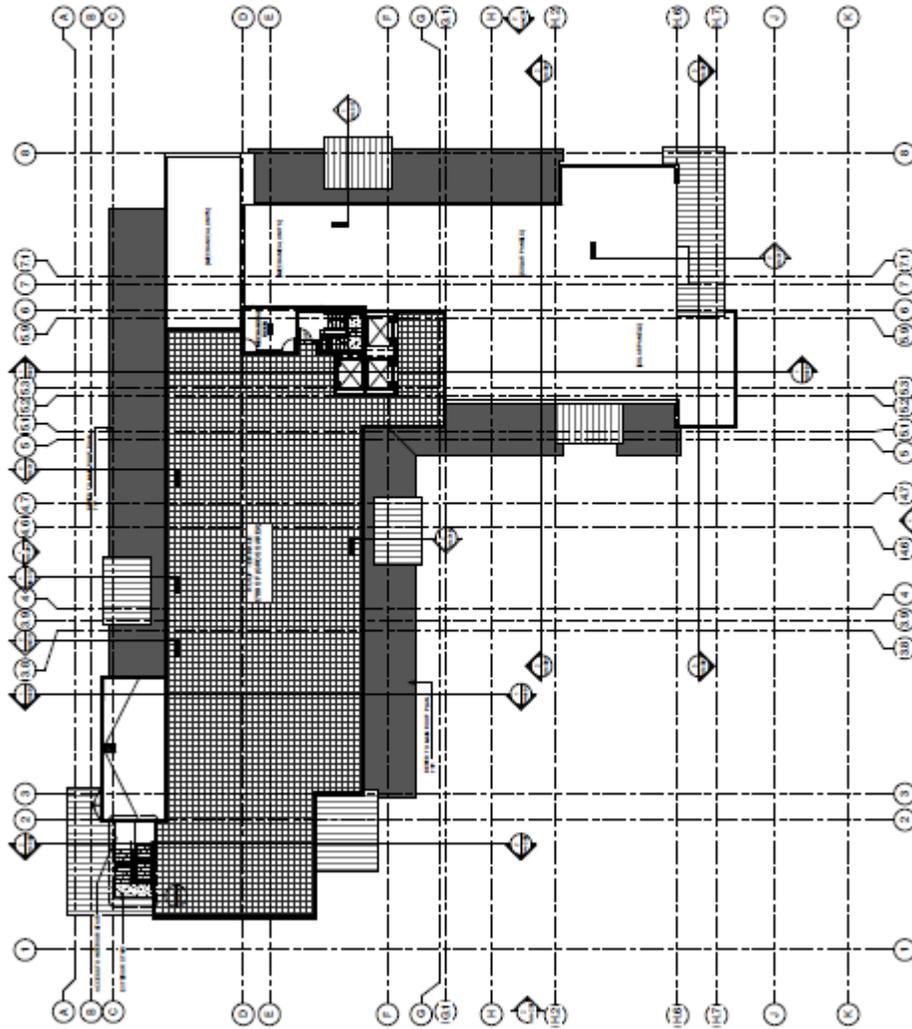


PROJECT DATA	
PROJECT NAME	GROVER BEACH RESORT
CLIENT	THE GROVER BEACH RESORT COMPANY
ARCHITECT	RRM DESIGN GROUP
DATE	2017.08.15
SCALE	AS SHOWN
DRAWN BY	J. SMITH
CHECKED BY	M. SMITH
DATE	2017.08.15
PROJECT NO.	17-001
SHEET NO.	1 OF 1
NOTES: 1. ALL DIMENSIONS ARE IN FEET AND INCHES. 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. 3. SEE ALL SHEETS FOR DETAILS. 4. SEE ALL SHEETS FOR MATERIALS. 5. SEE ALL SHEETS FOR FINISHES. 6. SEE ALL SHEETS FOR EQUIPMENT. 7. SEE ALL SHEETS FOR UTILITIES. 8. SEE ALL SHEETS FOR LANDSCAPE. 9. SEE ALL SHEETS FOR STRUCTURE. 10. SEE ALL SHEETS FOR MECHANICAL. 11. SEE ALL SHEETS FOR ELECTRICAL. 12. SEE ALL SHEETS FOR PLUMBING. 13. SEE ALL SHEETS FOR FIRE PROTECTION. 14. SEE ALL SHEETS FOR SPECIALTIES. 15. SEE ALL SHEETS FOR INTERIORS. 16. SEE ALL SHEETS FOR EXTERIORS. 17. SEE ALL SHEETS FOR SIGNAGE. 18. SEE ALL SHEETS FOR FURNITURE. 19. SEE ALL SHEETS FOR LIGHTING. 20. SEE ALL SHEETS FOR AUDIO VISUAL. 21. SEE ALL SHEETS FOR SECURITY. 22. SEE ALL SHEETS FOR ACCESSIBILITY. 23. SEE ALL SHEETS FOR SUSTAINABILITY. 24. SEE ALL SHEETS FOR ENERGY EFFICIENCY. 25. SEE ALL SHEETS FOR WATER CONSERVATION. 26. SEE ALL SHEETS FOR AIR QUALITY. 27. SEE ALL SHEETS FOR SOIL REMEDIATION. 28. SEE ALL SHEETS FOR HISTORIC PRESERVATION. 29. SEE ALL SHEETS FOR CULTURAL RESOURCES. 30. SEE ALL SHEETS FOR ARCHAEOLGY. 31. SEE ALL SHEETS FOR PALEONTOLOGY. 32. SEE ALL SHEETS FOR BOTANICAL. 33. SEE ALL SHEETS FOR ZOOLOGICAL. 34. SEE ALL SHEETS FOR GEOLOGICAL. 35. SEE ALL SHEETS FOR SEISMOLOGICAL. 36. SEE ALL SHEETS FOR CLIMATOLOGICAL. 37. SEE ALL SHEETS FOR METEOROLOGICAL. 38. SEE ALL SHEETS FOR HYDROLOGICAL. 39. SEE ALL SHEETS FOR OCEANOGRAPHICAL. 40. SEE ALL SHEETS FOR AERONAUTICAL. 41. SEE ALL SHEETS FOR SPACE. 42. SEE ALL SHEETS FOR ASTRONAUTICAL. 43. SEE ALL SHEETS FOR COSMOPOLITAN. 44. SEE ALL SHEETS FOR GALACTIC. 45. SEE ALL SHEETS FOR UNIVERSE. 46. SEE ALL SHEETS FOR COSMOS. 47. SEE ALL SHEETS FOR UNIVERSE. 48. SEE ALL SHEETS FOR COSMOS. 49. SEE ALL SHEETS FOR UNIVERSE. 50. SEE ALL SHEETS FOR COSMOS.	



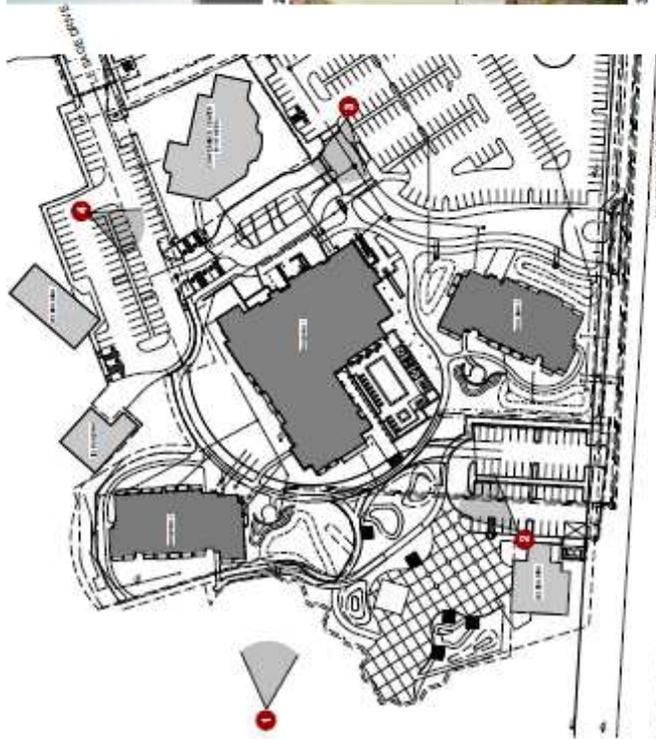
GROVER BEACH RESORT • Project Site & Building Data





GROVER BEACH RESORT • Floor Plan at Roof Terrace

A-6



1 - VIEW FROM DUNES / PUBLIC OPEN SPACE



2 - VIEW FROM ENTRANCE TO FINIS



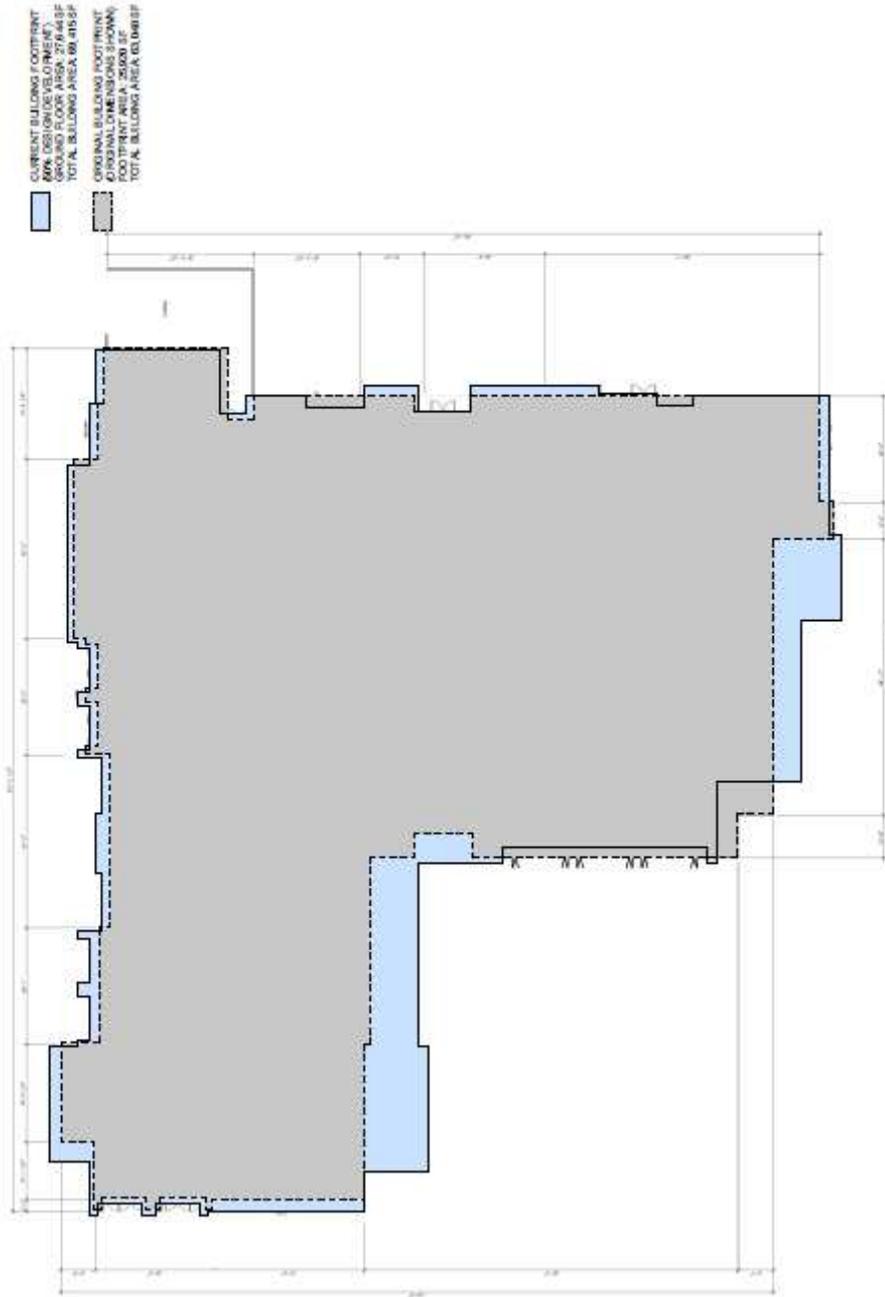
3 - VIEW FROM HOTEL PARKING



4 - VIEW FROM LE SAGE PARKING LOT

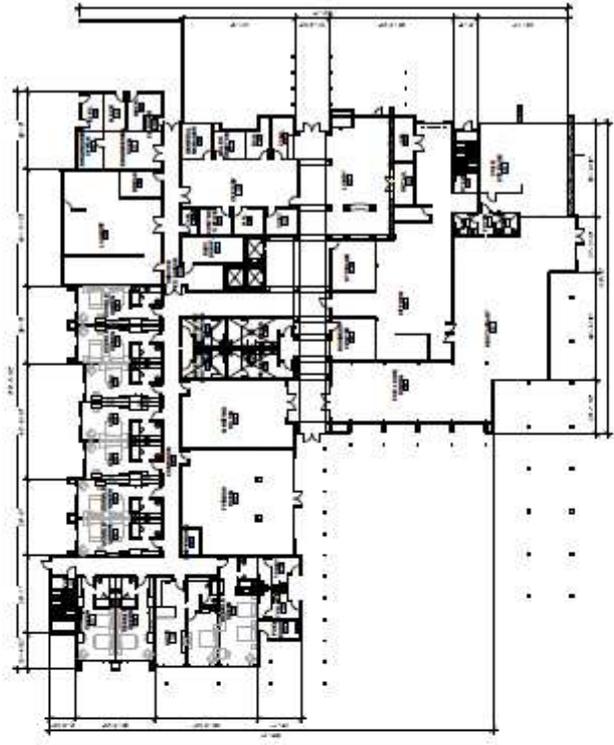
GROVER BEACH RESORT • Perspective Views of Building 1



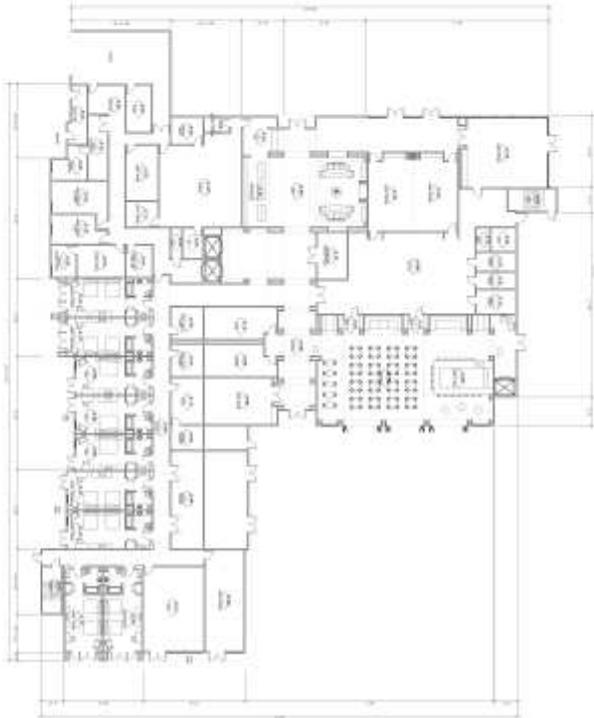


GROVER BEACH RESORT • Comparative Building Footprint





EXISTING BUILDING - GROUND FLOOR PLAN  
1/16" = 1'-0"



PROPOSED BUILDING - GROUND FLOOR PLAN  
1/16" = 1'-0"

BUILDING 1	
EXISTING	PROPOSED
AREA: 10,000 sq. ft.	AREA: 10,000 sq. ft.
PERMITS: 10,000 sq. ft.	PERMITS: 10,000 sq. ft.

GROVER BEACH RESORT • Comparative Ground Floor Plan



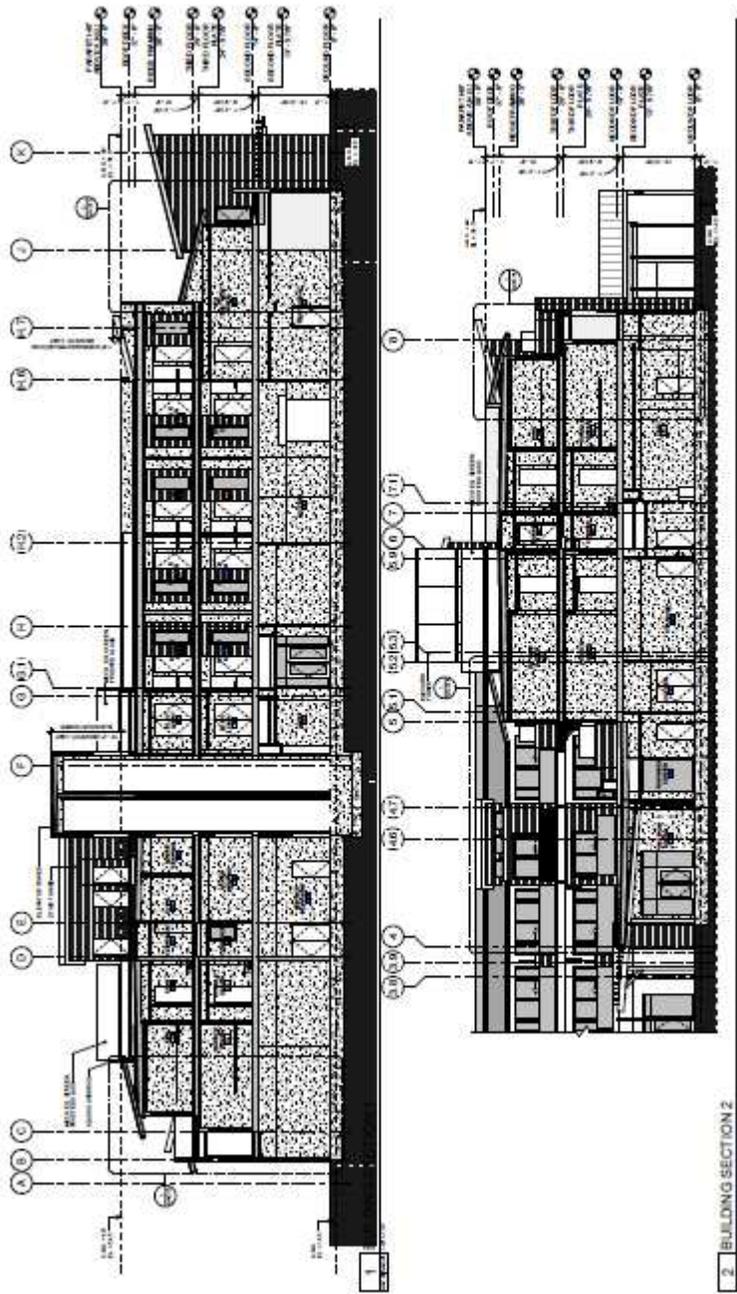


GROVER BEACH RESORT • Comparative East Elevation

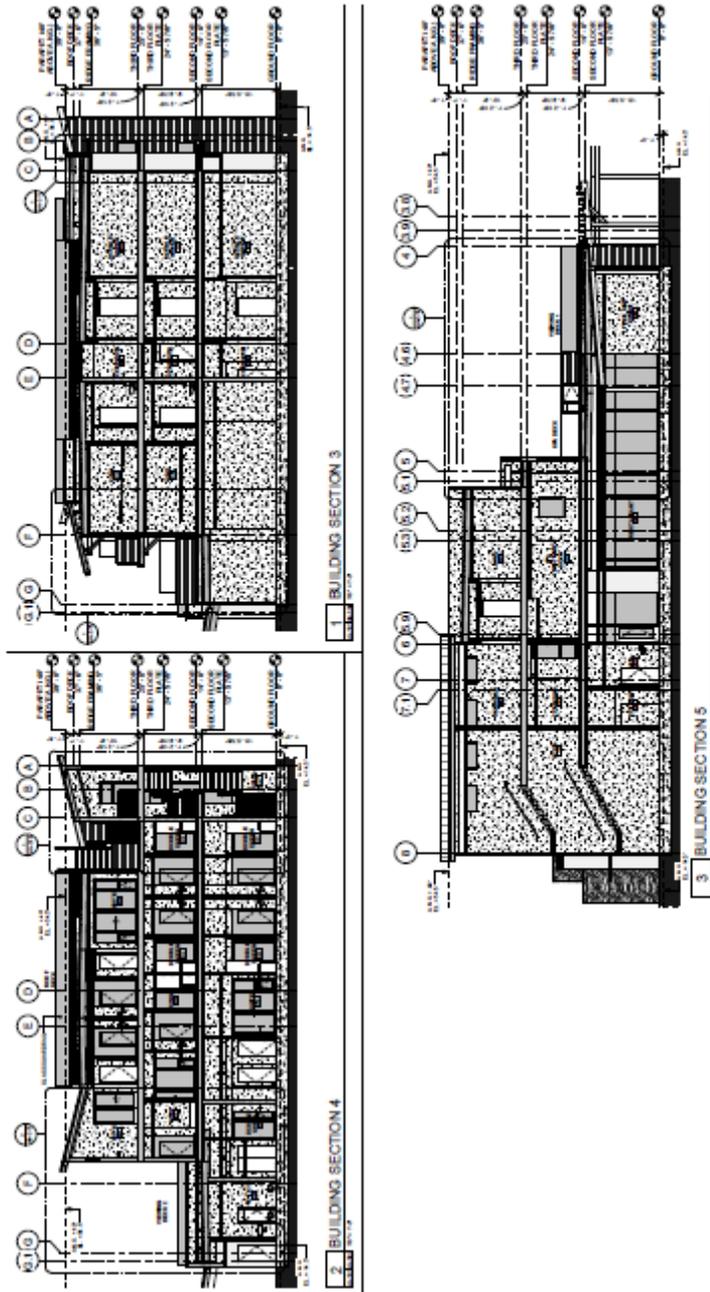








GROVER BEACH RESORT • Building Sections



GROVER BEACH RESORT • Building Sections